

Basement Submittal Pack



The Mayor & Council of Middletown
19 West Green Street
Middletown, DE 19709-1315
Phone: 302-378-1171
Fax: 302-378-5675

[https://www.middletown.delaware.gov/
permits&inspections@middletown.delaware.gov](https://www.middletown.delaware.gov/permits&inspections@middletown.delaware.gov)

2024 International Residential Code 2024 International Plumbing Code 2024 International Mechanical Code 2024 International Fuel Gas Code 2018 International Energy Conservation Code Town of Middletown Zoning Code

General Requirements:

- All contractors must be licensed by the Town of Middletown.
- **Please Note:** All communities that have Homeowner Associations, (HOA), or Architectural Committees, may require review and approval of any improvements made on the exterior of your home. Please follow your communities' rules and regulations.
- For an application to be accepted as complete and for the plan review to begin, **ALL** the drawings and minimum requirements need to be submitted as mentioned in this document.
- Three (3) copies of a site plot plan/mortgage survey must be submitted for review to the License and Inspection Department, to show the basement walkout and/or an egress window including site dimensions and setbacks.
- Three (3) copies of Building, HVAC or Plumbing, (Plumbing if applicable) must be submitted for review to the License and Inspection Department. Please enclose detailed drawings of the entire basement; indicate the area to be renovated and the intended use of the area, (name the rooms), with the permit application. We also require a detailed drawing explaining the type of materials and placement of materials being used to complete the renovated area.
- Please **post permits** and have **approved plans** on site at all times prior to beginning of your project. Please have all permits and approved plans on site at the time of required inspections. This is to verify placement and construction of the project.
- All electrical work is State regulated. Please follow all rules and regulations if electrical work is installed. Visit the State of Delaware website at DPR.DELAWARE.GOV and click or search, Board of Electrical Examiners for electrical permit information.
- Please call Miss Utility at 1-800-282-8555 or 811 prior to any digging.

Cost of Basement Permits:

Building Permit (required) - \$12.00 per \$1,000 Valuation (Valuation is cost of materials only);
\$40.00 Minimum

Plumbing Permit (if applicable) - \$50.00

HVAC Permit (required) - \$50.00

Certificate of Occupancy (required) - \$50.00

Plan review (required) - \$50.00 Minimum - \$200.00 Maximum

Please note: Plan review revisions may be subject to additional fees. Refer to Fee Schedule for Inspection fees and/or other fee related queries.

Inspections Required:

Inspections need to be scheduled with the Town of Middletown by calling **302-378-1171**; all requested inspections must be confirmed by 2:30 pm for next day inspection. Please reference your job site by the building permit number and address. A 2-hour window, 1-hour before or 1-hour after the scheduled time of inspection is permitted for the Town of Middletown Code Official to arrive to perform the scheduled inspection.

Please have all permits and approved plans on site at the time of required inspections. Failure to comply to have approved plans on site will result in a failed inspection.

1. **Under slab Inspection** – (if applicable) this inspection is required when plumbing and or plumbing sewer ejector is to be installed under the concrete slab for a possible bathroom installation. The inspection is completed prior to installation/replacement of the concrete slab. A pressure test is required for all under slab plumbing installations. All plumbing and joints need to be visible with proper pipe support.
2. **Close-in inspection** – this inspection will be completed when all building, plumbing and HVAC work is completed or roughed in and prior to insulation. All fire blocking must be in place for accessible/visible inspection at this time.
3. **Insulation Inspection** – if approved to continue from the previous inspection, items to be rechecked for correction will be inspected along with energy compliance of the newly habitable spaces.
4. **Final Inspection** – upon completion, access is required to all areas for inspection.

***The following pages are illustrations to help guide the design and construction of your basement. Included in this pack are permits for application of the project. Please keep in mind any deviation from the approved plans may result in resubmission of such changes.**

Plan Submittals

The following information shall be submitted to the permit department for their review in order to obtain a basement permit. For an application to be accepted as complete and for the plan review to begin, ALL the drawings and minimum requirements need to be submitted as mentioned in this document.

***The following pages are illustrations to help guide the design and construction of your basement. Included in this pack are permits for application of the project. Please keep in mind any deviation from the approved plans may result in resubmission of such changes.**

1. Site Plot Plan:

All lot dimensions shall be shown on site plot plan/mortgage survey must be submitted. The distances to property lines and easements must meet any side and rear yard setback requirements. This Site Plot Plan may be drawn by the builder or homeowner and does not have to be sealed by a design professional. See **FIGURE A** for a sample site plot plan.

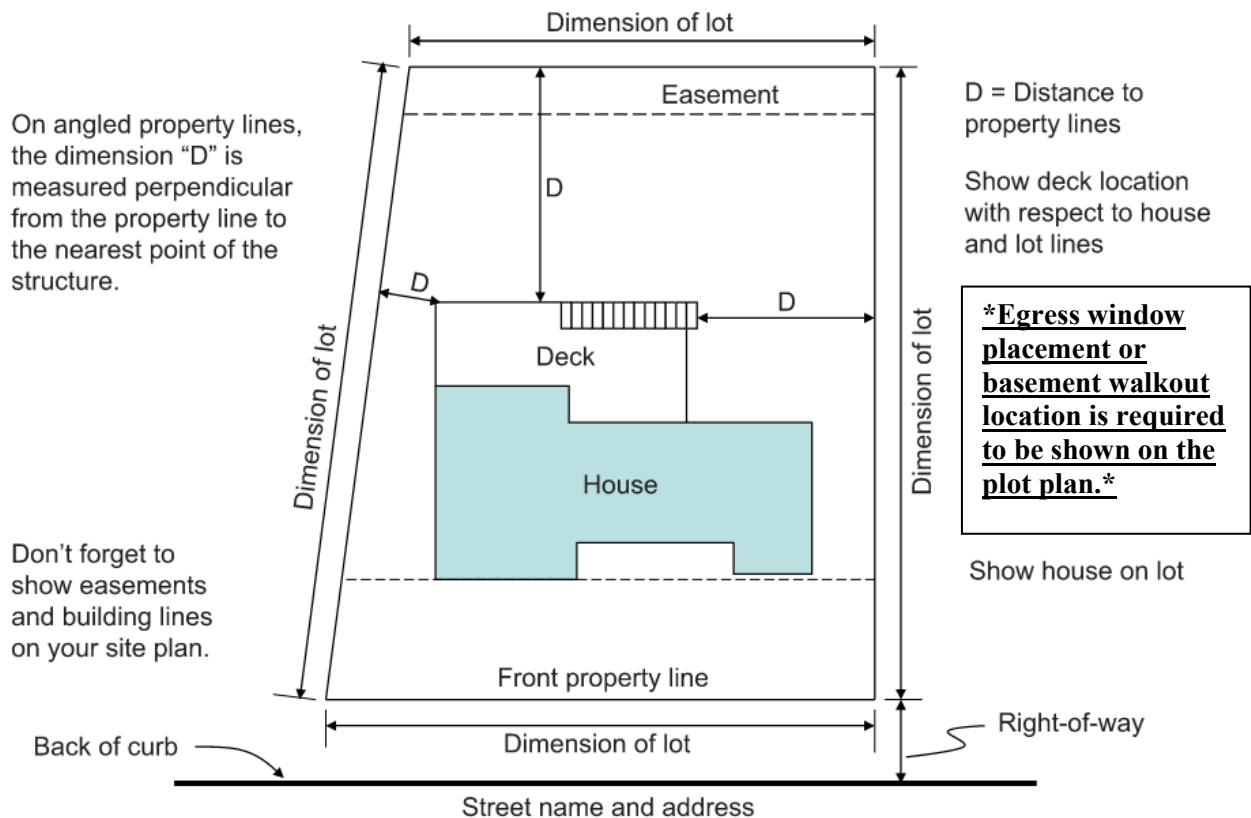


FIGURE A- SAMPLE SITE PLOT PLAN

2. Building Floor Plan:

Following information mentioned below is **required** to be noted on the floor plan for the basement being finished/renovated.

- Complete layout of rooms, including names and dimensions of all spaces (finished and unfinished areas). See sample floor plan **FIGURE B** for reference.
- Location of escape window and size if applicable.
- Current stair location which leads from first floor to the basement.

- Mechanical area, HVAC and Water Heater location, and type.
- Sump pit location.
- HVAC supply and return locations or other alternatives (when applicable).
- Smoke detector and carbon monoxide location(s).
- Doors, windows and walkouts with sizes entering all spaces.
- Bathroom location, (if applicable), with fixture location and distances from adjacent fixtures and walls. These distances are on center spacing.
- Plumbing ejector location, (if applicable).

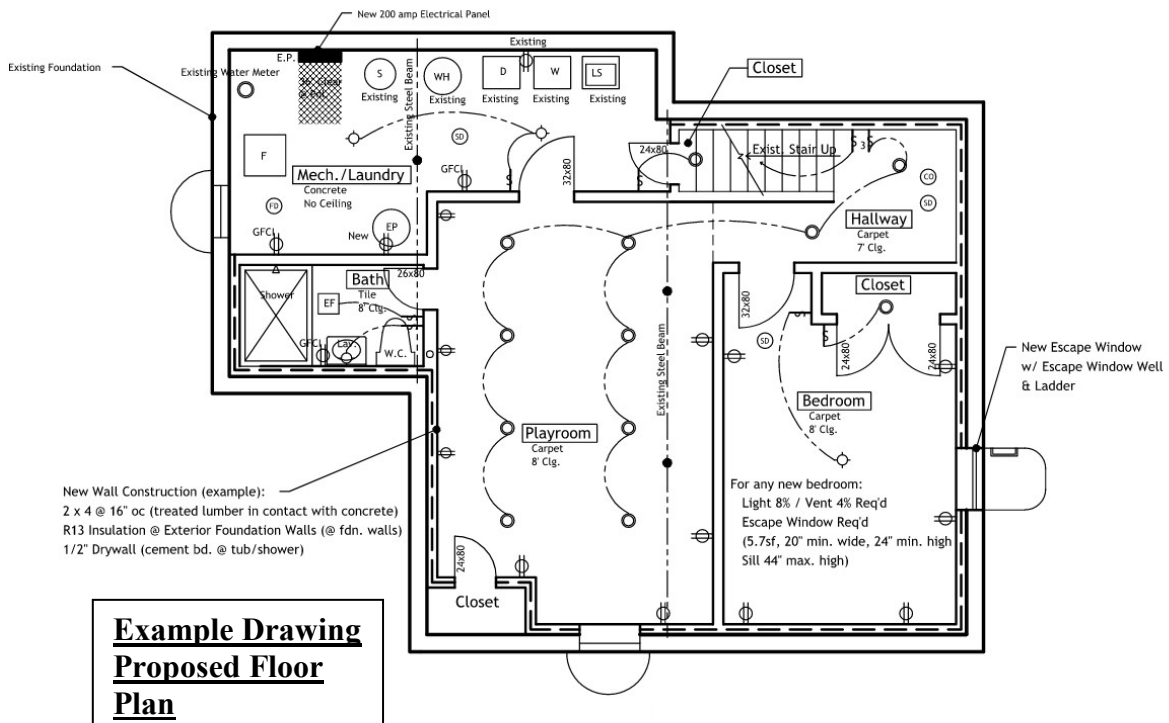
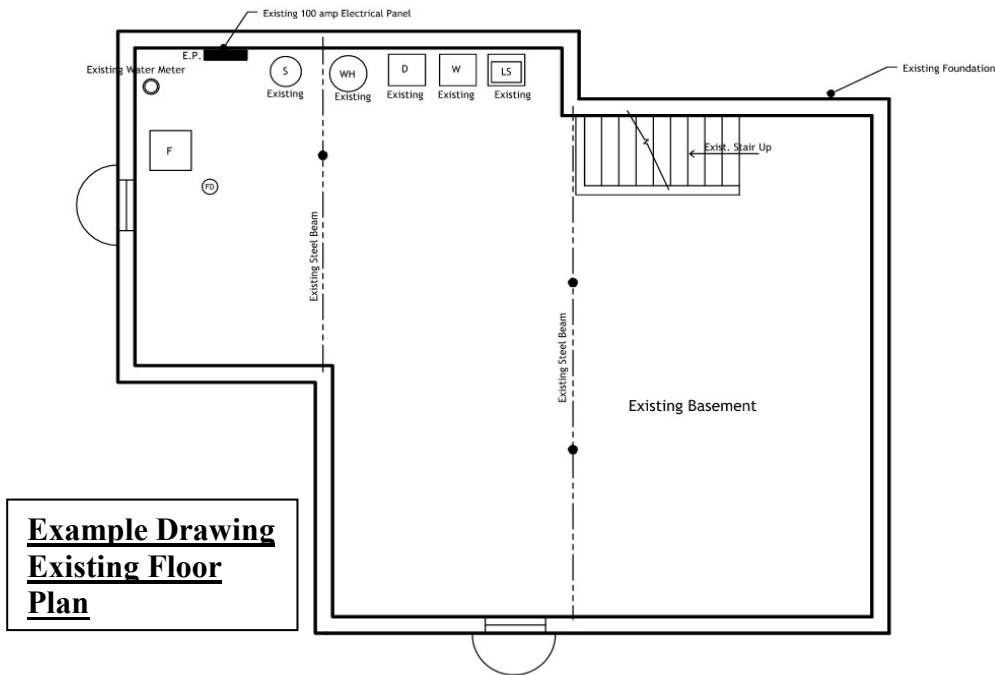


FIGURE B- SAMPLE FLOOR PLANS

3. Building Wall Details:

Following information mentioned below is **required** to be noted on the **FIGURE C** for the basement being finished/renovated.

- Type of material for construction, wood studding (treated bottom plate or barrier), metal studding, size of materials, drywall, insulation, and fire blocking.
- Concrete slab.
- Ceiling joist and type, (1st floor), total height from floor to ceiling. Minimum code is 7'-0" finished floor to ceiling for habitable spaces.
- Framing around steel 'I' beams, plumbing or duct work, with floor to ceiling height at those locations and main living area. Minimum height is 6'-8" from finished floor to ceiling in this area also for habitable spaces.
- Any wall insulation existing or new being installed, shall show the 'R' values as per codes.
- Vapor barriers, (if applicable).
- Floor material to be used.

This code comes into effect with "I" type or open web type floor joist. Nominal 2x10 falls in compliance with exception number 4.

Please note drop ceiling, (acoustical suspended type), does not provide the floor protection required by this code. So, if you have "I" or open web floor joist and want to install a suspended type ceiling, one of the methods would have to be in compliance to meet code.

4. HVAC Plans:

Note: These plans are always required to meet ventilation requirements for basements, this is due to most basements do not have the proper natural ventilation, (sq. ft. of operable windows), for the space(s) for code compliance. Circulation of air with the whole house mechanical ventilation system helps to meet code compliance and circulate air within the basement and the entire home. If the home was supplied with HVAC supplies, in the unfinished basement, this was installed for the home builder to meet energy compliance. Typically returns are not installed in an unfinished basement, with the finishing of the space for habitation, returns must be installed for that level for proper circulation and a HVAC permit is required. Bathroom mechanical fans are considered HVAC, due to duct work and the movement of air.

- HVAC supply and return locations with sizes of registers and duct size, including mechanical fan location in bathroom, (if applicable). Indicate main supply and return duct and where alteration is to be made of trunk lines. This can be an additional copy of the floor plan if needed to provide clarity of the duct design.
- If a newly installed system is to be installed, please provide appropriate information on the HVAC permit and all items noted above. It may be required to provide installation instructions of the system to be installed for code compliance or clarity.

5. Plumbing Plan (if applicable):

Following information mentioned below is to be noted only if plumbing is to be installed:

- Provide size of drain, waste and venting to be used.
- Ejector type to be used, grinder "type" pump or macerating type. Installation instruction may be required to be supplied for review.
- All vent terminations must terminate and run through the roof or be approved by the Code Official.
- All drainage discharge must be a 4" – 2" wye located just before discharge through the foundation wall.

CONSTRUCTION REQUIREMENTS:

Town of Middletown adopted 2024 International Residential Building Code, here are some requirements for construction.

1. Section R302.13- Fire protection of floors

Floor assemblies, not required elsewhere in this code to be fire-resistance rated, shall be provided with a ½-inch (12.7mm) gypsum wallboard membrane, 5/8-inch (16 mm) wood structural panel membrane, or equivalent on the underside of the floor framing member.

Exceptions:

1. Floor assemblies located directly over a space protected by an automatic sprinkler system in accordance with Section P2904, NFPA 13D, or other approved equivalent sprinkler system.
2. Floor assemblies located directly over a crawl space not intended for storage or for the installation of fuel-fired or electric-powered heating appliances.
3. Portions of floor assemblies shall be permitted to be unprotected where complying with the following:
 - 3.1. The aggregate area of the unprotected portions does not exceed 80 square feet (7.4 m²) per story.
 - 3.2. Fire blocking in accordance with Section R302.11.1 is installed along the perimeter of the unprotected portion to separate the unprotected portion from the remainder of the floor assembly.
4. Wood floor assemblies using dimension lumber or structural composite lumber equal to or greater than 2-inch by 10-inch (50.8 mm by 254 mm) nominal dimension, or other approved floor assemblies demonstrating equivalent fire performance.
5. Wood floor assemblies less than 600 square feet (55.7 m²) within detached accessory structures with no habitable space above them.

2. Section 302.7- Under-stair protection: Enclosed space under stairs that is accessed by a door or access panel shall have walls, under-stair surface and any soffits protected on the enclosed side with 1/2-inch (12.7 mm) gypsum board.

3. Section R311- Carbon Monoxide Detectors

R311.2 Where required in existing dwellings: Carbon monoxide alarms shall be provided in accordance with Sections R311.2.1 and R311.2.2.

R311.2.1 For new construction: Carbon monoxide alarms shall be provided in dwelling units where either or both of the following conditions exist.

1. The dwelling unit contains a fuel-fired appliance.
2. The dwelling unit has an attached garage with an opening that communicates with the dwelling unit.

R311.2.2 Alterations, Repairs and additions: Where alterations, repairs or additions requiring a permit occur, the individual dwelling unit shall be equipped with carbon monoxide alarms located as required for new dwellings.

Exceptions:

1. Work involving the exterior surfaces of dwellings, such as the replacement of roofing or siding, or the addition or replacement of windows or doors, or the addition of a porch or deck.
2. Installation, alteration or repairs of plumbing systems.
3. Installation, alteration or repairs of mechanical systems that are not fuel fired.

R311.3 Location: Carbon monoxide alarms in dwelling units shall be installed outside of each separate sleeping area in the immediate vicinity of the bedrooms. Where a fuel-burning appliance is located within a bedroom or its attached bathroom, a carbon monoxide alarm shall be installed within the bedroom.

R311.7 Carbon monoxide detection systems: Carbon monoxide detection systems that include carbon monoxide detectors and auditable notification appliances, installed and maintained in accordance with this section for carbon monoxide alarms and NFPA 720 shall be permitted. The carbon monoxide detectors shall be listed as complying with UL 2075. Where a household carbon monoxide detection system is installed, it shall become a permanent fixture of the occupancy, owned by the homeowner and shall be monitored by an approved supervising station.

R311.7.4 Combination detectors: Combination carbon monoxide and smoke detectors installed in carbon monoxide detection systems in lieu of *carbon monoxide detectors* shall be *listed* in accordance with UL 268 and UL 2075.

To summarize the code quoted above; due to the required permit and construction within the dwelling, Carbon Monoxide Detectors are required to be installed.

4. Section R319- Emergency Escape and Rescue Openings

R319.1 Basements, habitable attics, the room to which a sleeping loft is open, and every sleeping room shall have at least one operable emergency escape and rescue opening. Where basements contain one or more sleeping rooms, emergency egress and rescue openings shall be required in each sleeping room, emergency escape and rescue opening shall open directly into a public way, or to a yard or court that opens to a public way.

Exceptions:

1. Basements used only to house mechanical equipment not exceeding a total floor area of 200 square feet (18.58 m²).
2. Storm shelters constructed in accordance with ICC 500.
3. Where the dwelling unit or townhouse unit is equipped with an automatic sprinkler system installed in accordance with Section P2904, sleeping rooms in basements shall not be required to have emergency escape and rescue openings provided that the basement has one of the following:
 - 3.1 One means of egress complying with Section R318 and one emergency escape and rescue opening.
 - 3.2 Two means of egress complying with Section R318.
4. A yard shall not be required to open directly into a public way where the yard opens to an unobstructed path from the yard to the public way. Such path shall have a width of not less than 36 inches (914 mm)

R319.2.1 Minimum size: All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.530m²).

Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 square feet (0.465 m²).

R319.2.2 Minimum opening height: The minimum net clear opening height shall be 24 inches (610 mm). The minimum net clear opening width shall be 20 inches (508 mm).

R319.2.3 Maximum height from floor: Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) above the floor.

R319.2.4 Emergency escape and rescue openings under decks, porches and cantilevers: Emergency escape and rescue openings installed under decks, porches and cantilevers shall be fully openable and provide a path not less than 36 inches (914 mm) in height and 36 inches (914 mm) in width to a yard or court.

R319.3 Emergency escape and rescue doors: Where a door is provided as the required emergency escape and rescue opening, it shall be a side-hinged door or a sliding door.

R319.4 Area wells: The minimum horizontal area of the window well shall be 9 square feet (0.9 m²), with a minimum horizontal projection and width of 36 inches (914 mm). The area of the window well shall allow the emergency escape and rescue opening to be fully opened.

Exception: The ladder or steps required by Section R319.4.2 shall be permitted to encroach not more than 6 inches (152 mm) into the required dimensions of the area well.

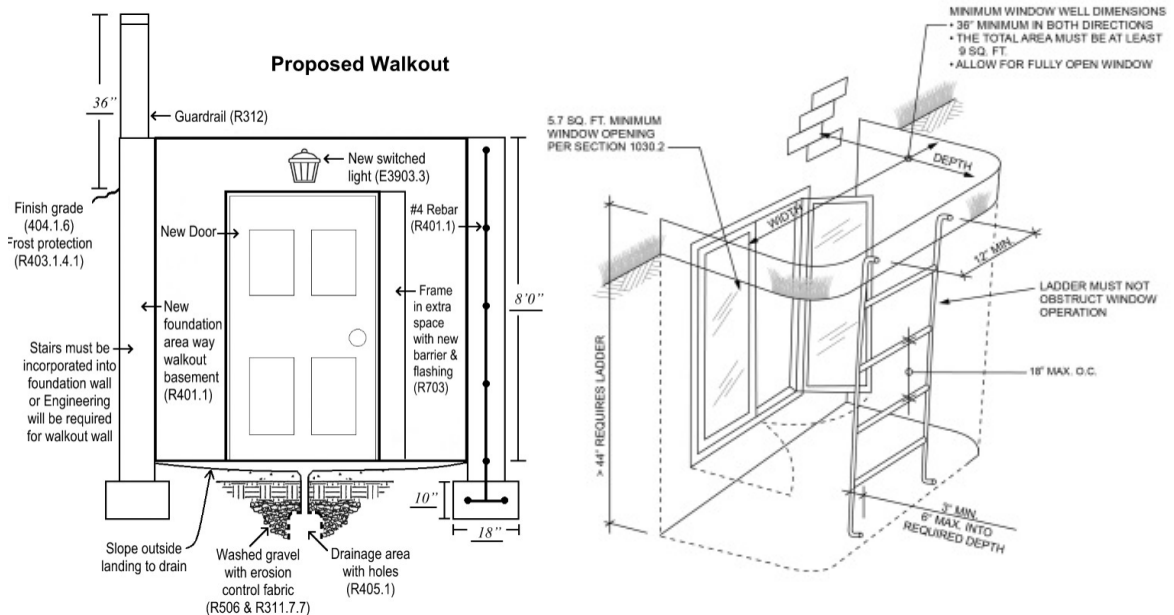


FIGURE C- SAMPLE WALKOUT AND AREA WELL

R319.4.2 Ladder and steps: Window wells with a vertical depth greater than 44 inches (1118 mm) shall be equipped with an approved, permanently affixed ladder or steps. The ladder or steps shall not be obstructed by the emergency escape and rescue opening where the window or door is in the open position. Ladders or steps required by this section shall not be required to comply with Section R318.7.

R319.4.2.1 Ladders: Ladders and rungs shall have an inside width of not less than 12 inches (305 mm), shall project not less than 3 inches (76 mm) from the wall and shall be spaced not more than 18 inches (457 mm) on center vertically for the full height of the area well.

R319.4.2.2 Steps: Steps shall have an inside width of not less than 12 inches (305 mm), a minimum tread depth of 5 inches (127 mm) and a maximum riser height of 18 inches (457 mm) for the full height of the area well.

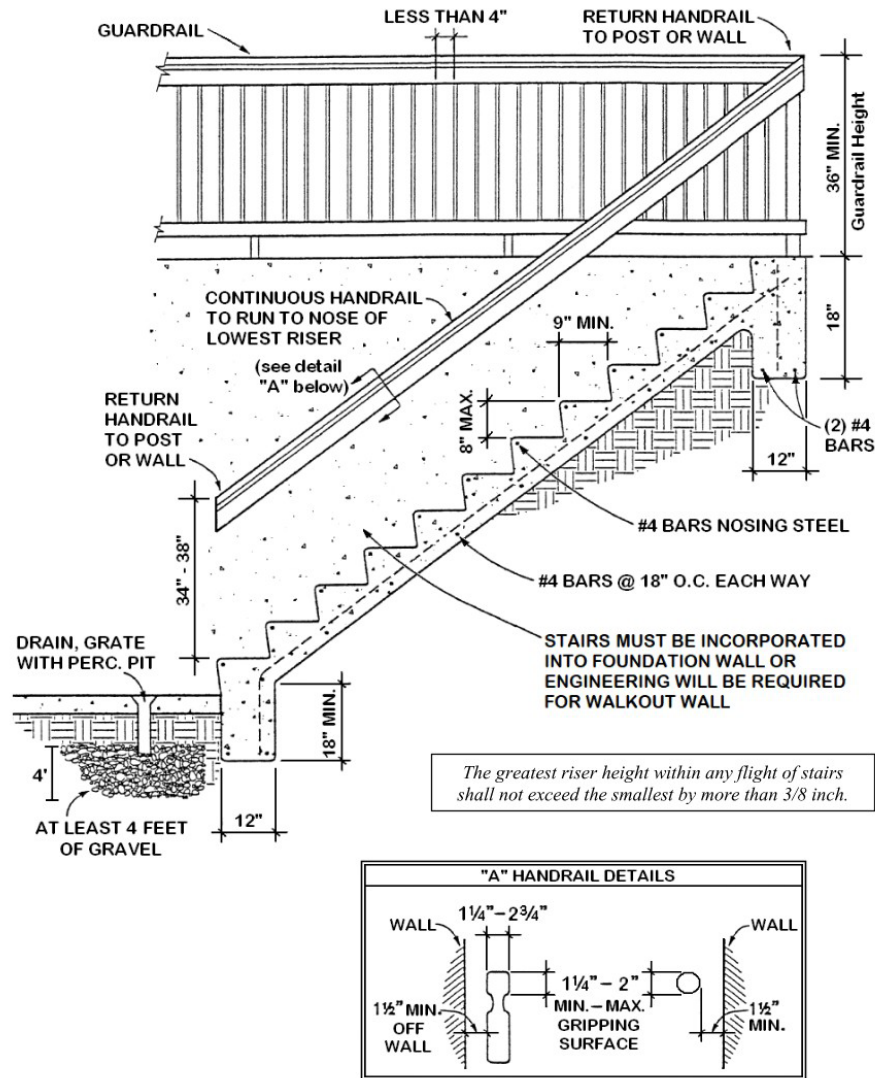


FIGURE D- SAMPLE WALKOUT STAIRS AND HANDRAIL

R319.4.3 Drainage: Area wells shall be designed for proper drainage by connecting to the building's foundation drainage system required by [Section R405.1](#).

Exception: A drainage system for area wells is not required where the foundation is on well-drained soil or sand-gravel mixture soils in accordance with the United Soil Classification System, Group I Soils, as detailed in [Table R401.4.1\(2\)](#).

R319.4.4 Bars, grills, covers and screens: Where bars, grilles, covers, screens or similar devices are placed over emergency escape and rescue openings, bulkhead enclosures or area wells that serve such openings, the minimum net clear opening size shall comply with [Sections R319.2 through R319.2.2](#) and [R319.4.1](#). Such devices shall be releasable or

removable from the inside without the use of a key or tool or force greater than that required for the normal operation of the escape and rescue opening.

R319.5 Replacement windows for emergency escape and rescue openings:

Replacement for emergency escape and rescue openings installed in buildings meeting the scope of this code shall be exempt from Sections R319.2 and R319.4.4, provided that the replacement window meets the following conditions:

1. The replacement window is the manufacturer's largest standard size window that will fit within the existing frame or existing rough opening. The replacement window shall be permitted to be of the same operating style as the existing window or a style that provides for an equal or greater window opening area than the existing window.
2. The replacement window is not part of a change of occupancy.

R319.5.1 Window opening control device and fall protection device height: Window opening control devices for fall protection devices shall be located at a height in accordance with Section R319.1.1 or at as low a height as the device can be installed within the existing clear opening.

R319.6 Dwelling Additions: Where dwelling unit additions contain sleeping rooms, an emergency escape and rescue opening shall be provided in each new sleeping room. Where dwelling unit additions have basements, an emergency escape and rescue opening shall be provided in the new basement.

Exceptions:

1. An emergency escape and rescue opening are not required in a new basement that contains a sleeping room with an emergency escape and rescue opening.
2. An emergency escape and rescue opening are not required in a new basement where there is an emergency escape and rescue opening in an existing basement that is accessed from the new basement.
3. An operable window complying with Section R319.7.1 shall be acceptable as an emergency escape and rescue opening.

R319.7 Alterations or repairs of existing basement: New sleeping rooms created in an existing basement shall be provided with emergency escape and rescue openings in accordance with Section R319.1. Other than new sleeping rooms, where existing basements undergo alterations or repairs, an emergency escape and rescue opening is not required.

Exception: An operable window complying with Section R319.7.1 shall be acceptable as an emergency escape and rescue opening.

R319.7.1 Existing emergency escape and rescue openings: Where a change of occupancy would require an emergency escape and rescue opening in accordance with Section R319.1, operable windows serving as the emergency escape and rescue opening shall comply with the following:

1. An existing operable window shall provide a minimum net clear opening of 4 square feet (0.38 m²) with a minimum net clear opening height of 22 inches (559 mm) and a minimum net clear opening width of 20 inches (508 mm).
2. A replacement window where such window complies with both of the following:
 - 2.1. The replacement window meets the size requirements in Item 1.
 - 2.2. The replacement window is the manufacturer's largest standard-size window that will fit within the existing frame or existing rough opening. The replacement window shall be permitted to be of the same operating style as the existing window or a style that provides for an equal or greater window opening area than the existing window.

Residential Building Permit Application



The Mayor & Council of Middletown
19 West Green Street
Middletown, DE 19709

Phone: (302) 378-1171 Fax: 302-378-5675
www.middletown.delaware.gov
permits&inspections@middletown.delaware.gov

APPLICANT <i>(Individual Applying For Permit)</i>	
Name: _____	Phone #: _____
Address: _____	Cell #: _____
City, State: _____	Fax #: _____
Zip Code: _____	Email: _____
Applicant's Signature: _____	
PROPERTY INFORMATION	
Parcel Number: _____	Zoning: _____
Street Address: _____	Lot #: _____
Owner's Name: _____	Development: _____
Street Address: _____	Phone #: _____
City, State & Zip: _____	Cell #: _____
CONTRACTOR Middletown Business License #: ____ - ____	
Name: _____	Phone #: _____
Address: _____	Cell #: _____
City & State: _____	Fax #: _____
Zip Code: _____	Email: _____
License Holder's Signature: _____	
TO BE COMPLETED FOR RESIDENTIAL HOME IMPROVEMENTS ONLY	
Description of Job: _____ _____ _____	
Total Square Feet: _____	Cost of Materials: _____
FOR OFFICE USE ONLY	
NFIP / FLOOD ZONE EVALUATION:	
Is Property Located in SFHA? ____ Yes ____ No	What Zone? ____ A ____ AO ____ AE
Base Flood Elevation: _____	WRPA: _____
Reviewed By: _____	Riparian Buffer: _____
Plan Examiner: _____	Plan Review Fee: _____
Date: _____	Inspection Fee: _____
Application ID #: _____	Permit #: _____ Date: _____

Plumbing Permit Application



The Mayor & Council of Middletown
19 West Green Street
Middletown, DE 19709

Phone: (302) 378-1171 Fax: 302-378-5675
www.middletown.delaware.gov
permits&inspections@middletown.delaware.gov

JOB LOCATION:		DATE: _____	
Tax Parcel # _____ - _____ - _____ [_____]		Lot _____	Bldg. _____ Suite _____
Street No.: _____ Street: _____			
Subdivision: _____		Section: _____	Code _____
APPLICANT <i>(Individual Applying For Permit)</i>			
Name: _____		Phone #: _____	
Address: _____		Cell #: _____	
City, State: _____		Fax #: _____	
Zip Code: _____		Email: _____	
Applicant's Signature: _____			
PROPERTY INFORMATION			
Name: _____		Phone #: _____	
Address: _____		Cell #: _____	
City, State: _____		Fax #: _____	
Zip Code: _____		Email: _____	
CONTRACTOR		Middletown Business License #: _____ - _____	
Name: _____		Phone #: _____	
Address: _____		Cell #: _____	
City, State: _____		Fax #: _____	
Zip Code: _____		Email: _____	
License Holder's Signature: _____		License Holder's State License #: _____	
IMPORTANT NOTICE: <i>It is the responsibility of the Licensed Contractor to contact this office for all required inspections, including the Final Inspection. Failure to do so may result in penalties being instituted against your license.</i>			
ALL APPLICABLE INFORMATION MUST BE FILLED OUT			
BUILDING PERMIT NO.: _____		NEW INSTALLATION _____ RENOVATION _____	
_____ Residential _____ Commercial		_____ Other	
DESCRIPTION OF JOB: _____			
Size of building drain _____		Size of soil stack _____	
Size of building sewer _____		Size of stack vent _____	
Distance between sewer lateral and building _____			
Source of water supply: Public supply _____ Private well _____			
Water Heater: Size _____ gallons Make _____ Model # _____			
Location _____ Fuel Source _____			
FOR NEW INSTALLATIONS, PLEASE INCLUDE THREE (3) COPIES OF DRAIN/WASTE/VENT DRAWINGS			
Number of fixtures _____		Cost of Materials: _____	
Number of water heaters _____			
Number of sewer laterals _____			
Number of water services _____			
Number of gas inspections _____			
VALIDATION		OFFICE USE ONLY	
Plan Examiner: _____ Date: _____		Plan Review Fee: _____ Inspection Fee: _____	
Application ID #: _____		Permit No.: _____ Date: _____	

HVAC Permit Application



The Mayor & Council of Middletown
 19 West Green Street
 Middletown, DE 19709

Phone: (302) 378-1171 Fax: 302-378-5675
www.middletown.delaware.gov
permits&inspections@middletown.delaware.gov

JOB LOCATION:		DATE: _____	
Tax Parcel # _____ - _____ - _____ [_____]		Lot _____	Bldg. _____ Suite _____
Street No.: _____ Street: _____			
Subdivision: _____		Section: _____	Code _____
APPLICANT <i>(Individual Applying For Permit)</i>			
Name: _____		Phone #: _____	
Address: _____		Cell #: _____	
City, State: _____		Fax #: _____	
Zip Code: _____		Email: _____	
Applicant's Signature: _____			
PROPERTY INFORMATION			
Name: _____		Phone #: _____	
Address: _____		Cell #: _____	
City, State: _____		Fax #: _____	
Zip Code: _____		Email: _____	
CONTRACTOR		Middletown Business License #: _____ - _____	
Name: _____		Phone #: _____	
Address: _____		Cell #: _____	
City, State: _____		Fax #: _____	
Zip Code: _____		Email: _____	
License Holder's Signature: _____		License Holder's State License #: _____	
IMPORTANT NOTICE: <i>It is the responsibility of the Licensed Contractor to contact this office for all required inspections, including the Final Inspection. Failure to do so may result in penalties being instituted against your license.</i>			
ALL APPLICABLE INFORMATION MUST BE FILLED OUT			
BUILDING PERMIT NO.: _____		NEW INSTALLATION _____ RENOVATION _____	
_____ HVAC System		_____ Duct Installation Only _____ Gas Test	
DESCRIPTION OF JOB: _____			
HEATING UNIT INFORMATION		COOLING UNIT INFORMATION	
Make _____ Model # _____		Make _____ Model # _____	
System Type _____		EER or SEER _____ Tonnage _____	
Fuel Source _____ AFUE _____		Termination of Condensate _____	
Chimney/Vent Type _____		_____	
[_____] New metal liner to be installed		_____	
FOR NEW INSTALLATIONS, please include three (3) copies of duct layout drawings, [including location of unit(s), CFM per room, location and size of registers and location of thermostat] gas piping layout and sizing (if applicable) and heating/cooling load computations.			
***** NOTE *****		Cost of Materials: _____	
All oil to gas conversions require cleaning of the existing chimney			
VALIDATION		OFFICE USE ONLY	
Plan Examiner: _____ Date: _____		Plan Review Fee: _____ Inspection Fee: _____	
Application ID #: _____		Permit No.: _____ Date: _____	

Under-Slab Drain and Vent Self- Certification



The Mayor & Council of Middletown
19 West Green Street
Middletown, DE 19709-1315
Phone: 302-378-1171
Fax: 302-378-5675
www.middletown.delaware.gov
Permits&Inspections@middletown.delaware.gov

LOT # _____

SUBDIVISION _____

BUILDING PERMIT # _____

PLUMBING PERMIT# _____

ADDRESS _____

I HEREBY CERTIFY THAT THE DRAIN AND VENT LINES AT THE ABOVE REFERENCED PROPERTY WERE TESTED ON _____ IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN SECTION 312 OF THE 2018 INTERNATIONAL PLUMBING CODE AS AMENDED BY THE STATE OF DELAWARE THE DIVISION OF PUBLIC HEALTH, AND MET OR EXCEEDED THOSE REQUIRMENTS.

TEST OBSERVED BY:

SIGNATURE OF BUILDING PERMIT HOLDER _____

DATE _____

SIGNATURE OF LICENSED PLUMBER _____

DATE _____

Effective on permit apps received on or after 11/11/2019

Drain and Vent Self-Certification



The Mayor & Council of Middletown

19 West Green Street

Middletown, DE 19709-1315

Phone: 302-378-1171

Fax: 302-378-5675

www.middletown.delaware.gov

Permits&Inspections@middletown.delaware.gov

LOT # _____

SUBDIVISION _____

BUILDING PERMIT # _____

PLUMBING PERMIT# _____

ADDRESS _____

I HEREBY CERTIFY THAT THE DRAIN AND VENT LINES AT THE ABOVE REFERENCED PROPERTY WERE TESTED ON _____ IN ACCORDANCE WITH THE REQUIREMENTS OUTLINED IN SECTION 312 OF THE 2018 INTERNATIONAL PLUMBING CODE AS AMENDED BY THE STATE OF DELAWARE THE DIVISION OF PUBLIC HEALTH AND MET OR EXCEEDED THOSE REQUIRMENTS.

TEST OBSERVED BY:

SIGNATURE OF BUILDING PERMIT HOLDER _____

DATE _____

SIGNATURE OF LICENSED PLUMBER _____

DATE _____

Effective on permit apps received on or after 11/11/2019